



I certify that I have received a copy of these regulations and will comply with the regulations contained herein.

Name

Date

INSPECTIONAL
SERVICES DIVISION
630-823-5860

A Building Permit is Required for Basement Remodeling

To Apply for a Building Permit Inspection Requirements

Complete a building permit application and submit copies of the following:

Floor Plan - The basement floor plan is to be drawn to scale (1/4" per foot preferred). Provide a description of the flooring material, location of proposed and existing walls, windows, columns, stairs, furnace, appliances, outlets, and plumbing fixtures.

Reflected Ceiling Plan - The reflected ceiling plan is to be drawn to scale showing a description of the ceiling system, proposed and existing light fixtures, switches, proposed and existing switches, proposed and existing air supply grills and smoke alarm.

Basement Section - The basement section is to be drawn to scale showing and describing the typical wall construction, insulation, typical ceiling construction, finished ceiling heights, heights below existing and proposed duct work and soffits.

A \$50 (minimum) plan review fee will be charged . This fee is in addition to the permit fee.

Corrections and additional information may be requested if the original application is not complete. **This may cause a delay in the issuance of the permit.**

All contractors must be registered and bonded with the Village of Hanover Park. If you have any questions please call 630-823-5860.

Plumbers must provide a copy of their 055 and 058 State licenses and a Letter of Intent with all plumbing permit applications.

1. An inspection of rough plumbing, heating, electrical, framing, insulation and drywall fasteners must be conducted at appropriate stages of construction.
2. After the basement remodeling is complete, a final building, plumbing, heating and electrical inspection of the basement is required prior to occupancy.
3. To request an inspection, contact the Fire Department's Inspectional Services Division at 630-823-5860, **at least twenty-four (24) hours in**

Electrical Requirements

1. Show location and size of electrical service.
2. Provide load calculation.
3. Provide panel schedule.
4. Provide convenience receptacles as required in the 2017 NEC and 2018 IRC
5. Provide illumination requirements as required in the 2017 NEC
6. Provide for 120volt, battery backup, and smoke detector on each level, wired in series. One must be located within fifteen feet of all sleeping areas. Provide carbon monoxide detectors as required by code.
7. Provide sump and ejector receptacles per 2017 NEC.
8. Show the furnace and air conditioner locations.
9. If the value of the structural work exceeds \$10,000, the drawings must be stamped by an architect or engineer, licensed by the State of Illinois.

Electrical Inspection Check List:

1. ELECTRICAL SERVICE INSPECTION

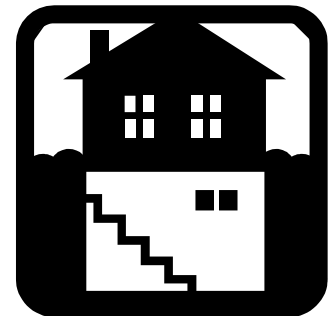
- A. Meter socket properly secured.
- B. Lock nuts and bushings of correct type and properly installed (lock nuts both sides of meter socket).
- C. Wire size correct. (Minimum #3 on 100 amp, #1/0 on 150 amp, #3/0 on 200 amp.)
- D. Is neutral identified with white or gray marking or tape?
- E. Ground rod in place. (Minimum 5/8" x 8 feet), driven to a point at or below grade. Only acorn clamp is acceptable below grade. If #8 is used for ground, it shall be protected. (Green field is acceptable for this protection.)
- F. All conduit is to be installed to be in line with the layout of the building.
- G. GFCI protected receptacle shall be in place.

2. ROUGH ELECTRIC

- A. Are all enclosures and devices properly installed?
- B. Are all conduits properly supported?
 - (1) Rigid pipe must be supported within 36" of box and every ten feet thereafter.
 - (2) Flexible conduits must be supported within 12" of box and every 4 ½ feet thereafter.
- C. Proper workmanship must be in place.
- D. All boxes are to be sized to comply with the 2017 NEC regarding wire fill.
- E. Are all enclosures listed for usage?
- F. Are all fittings secured?
- G. Is workmanship acceptable?
- H. Does every conduit run comply with 360° rule.
- I. Do receptacle placements conform with 12" and 24" rule at countertop areas and 6' - 12' rule for location on walls.
- J. Are all penetrations through plates and plenums draft stopped?

3. FINAL ELECTRIC

- A. Are all devices in place?
- B. Are all devices approved for the usage?
- C. All receptacles are to be self-grounding type, as per 250-74 of NEC.
- D. Is polarity correct?
- E. Do all fixtures illuminate?
- F. Are all wiring methods and breaker sizes compatible?



Plumbing Requirements

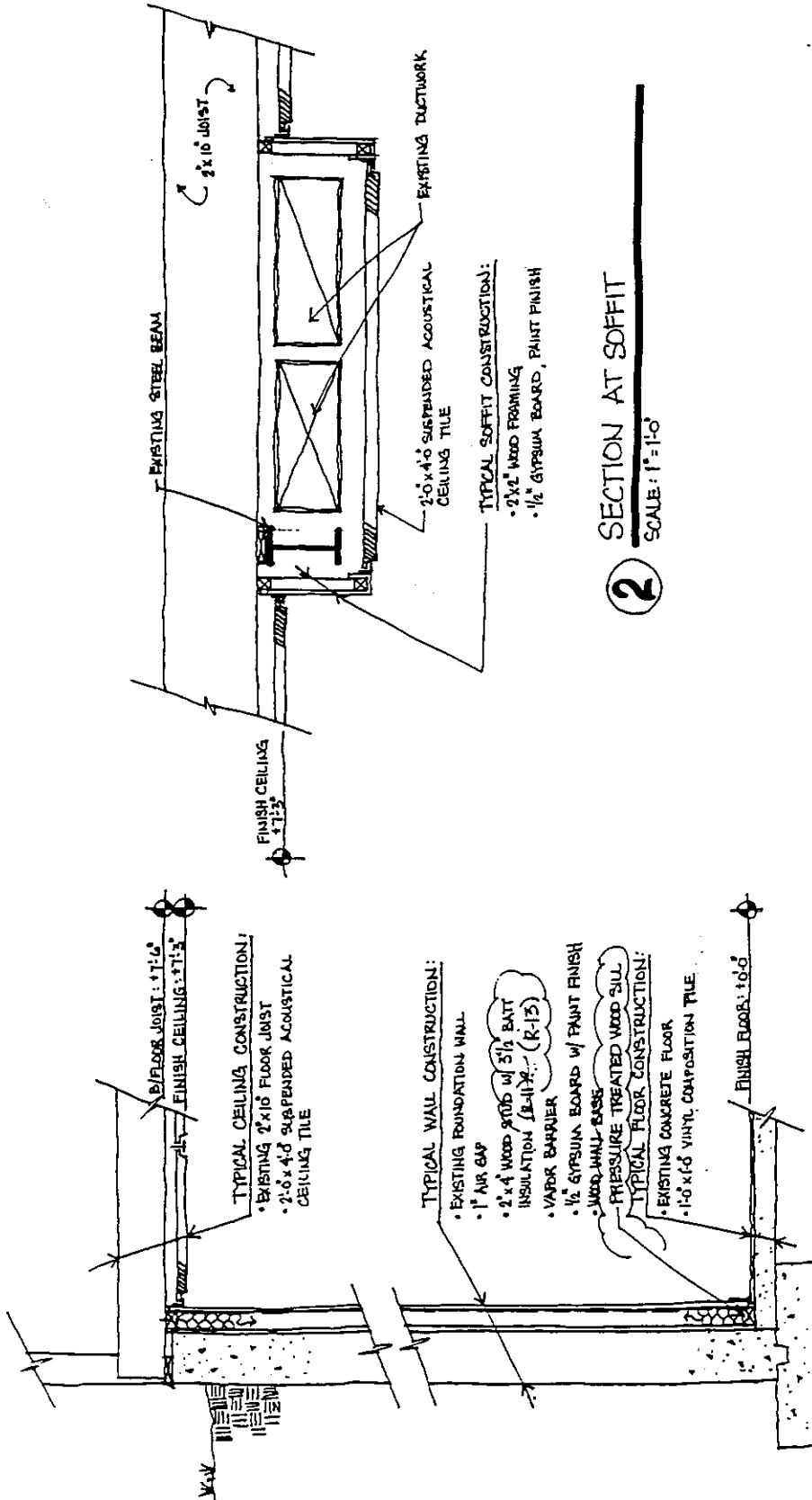
1. Projects that will involve a plumbing system change such as the addition to, or extension of any piping, will require a plumbing diagram/isometric showing type and piping material, and the points of connection to the existing plumbing.
2. The plumbing isometrics are to be done by a licensed plumber, architect or engineer in accordance with Section 3 (225 ILCS 3201) Illinois Plumbing License Law. License/registration number is to be noted on these submittals.
3. Provide a water supply fixture calculation based on tables M and N in the plumbing code and confirm that the water service and meter size comply with code.

REMINDERS

1. THE CEILING HEIGHT IN BASEMENTS WITHOUT HABITABLE SPACES MAY NOT BE LESS THAN 6 FEET 8 INCHES CLEAR EXCEPT FOR UNDER BEAMS, GIRDERS, DUCTS OR OTHER OBSTRUCTIONS WHERE THE CLEAR HEIGHTS SHALL BE 6 FEET 4 INCHES .
2. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
3. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET. WINDOW WELLS SHALL MEASURE 36" X 36" AND HAVE A LADDER WHEN REQUIRED.
4. ENCLOSED ACCESSIBLE SPACE UNDER ALL STAIRS SHALL HAVE THE WALLS AND CEILINGS PROTECTED ON THE CLOSET SIDE WITH A MINIMUM OF ½ INCH GYPSUM BOARD.
5. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.
6. HANDRAILS SHALL HAVE A MINIMUM HEIGHT OF 34 INCHES AND A MAXIMUM HEIGHT OF 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREADS AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL.
7. HANDRAILS SHALL HAVE EITHER A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1¼ INCHES TO 2 INCHES OR A NONCIRCULAR CROSS SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4 INCHES BUT NOT MORE THAN 6¼ INCHES AND A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2¼ INCHES.
8. SMOKE DETECTORS SHALL BE INSTALLED ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ON EACH LEVEL. ALL UNITS SHALL BE 120 VOLT, BATTERY BACKUP AND INTERCONNECTED. REFER TO THE CODE FOR REQUIREMENTS.
9. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION THAT COMPLIES WITH THE CODE.
10. FRAMED WALLS AND FLOORS NOT VENTILATED TO ALLOW MOISTURE TO ESCAPE MUST HAVE AN APPROVED VAPOR RETARDER HAVING A MAXIMUM PERM RATING OF 1.0.
11. ALL SILLS OR PLATES WHICH REST ON CONCRETE OR MASONRY EXTERIOR WALLS SHALL BE PRESSURE TREATED.
12. STEEL FRAMING SHALL NOT BE LESS THAN 1¼ INCHES WIDE IN THE LEAST DIMENSION. LIGHT-GAGE NONLOAD-BEARING STEEL FRAMING SHALL COMPLY WITH ASTM C 645.
13. DRYER VENT SYSTEMS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS. EXHAUST VENTS SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. VENT PIPING SHALL BE ALUMINUM OR GALVANIZED STEEL, ASSEMBLED WITHOUT SCREWS PENETRATING THE PIPE, OR WITH 3 SCREWS PER JOINT THAT DO NOT PENETRATE MORE THAN 1/8" AND EACH JOINT SHALL BE SEALED WITH APPROVED METALLIC TAPE.
14. THE MAXIMUM LENGTH OF 4 INCH DIAMETER EXHAUST VENT SHALL NOT EXCEED 35 FEET FROM THE DRYER TRANSITION DUCT TO WALL OR ROOF TERMINATION OR AS OTHERWISE REQUIRED BY THE MANUFACTURER.

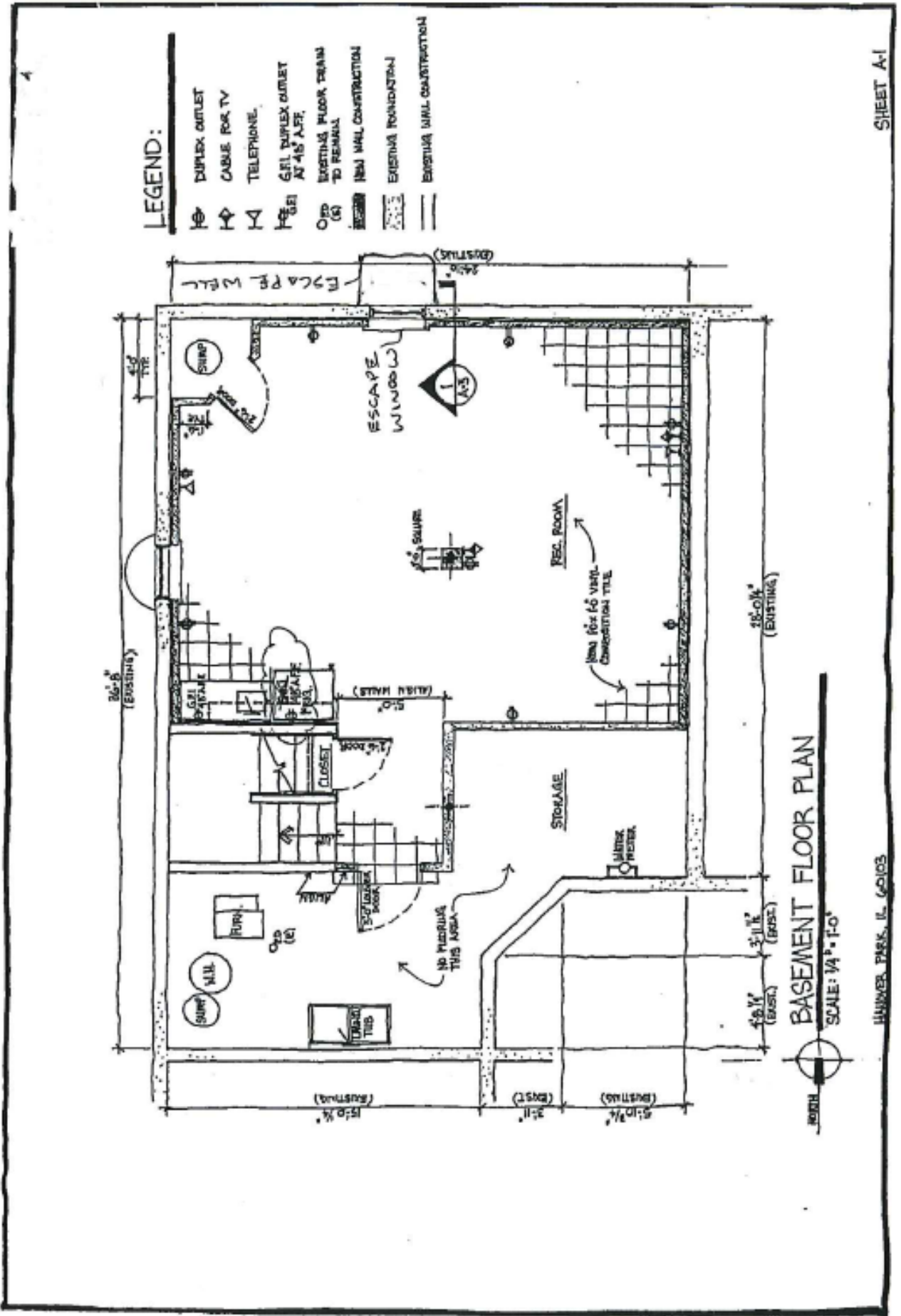
ALL CONTRACTORS WORKING ON THE PROJECT MUST BE REGISTERED TO WORK IN THE VILLAGE. PLEASE CALL 630-823-5860 WITH ANY QUESTIONS.

Sample Details










HANOVER PARK, IL 60109

SHEET A-3



LEGEND:

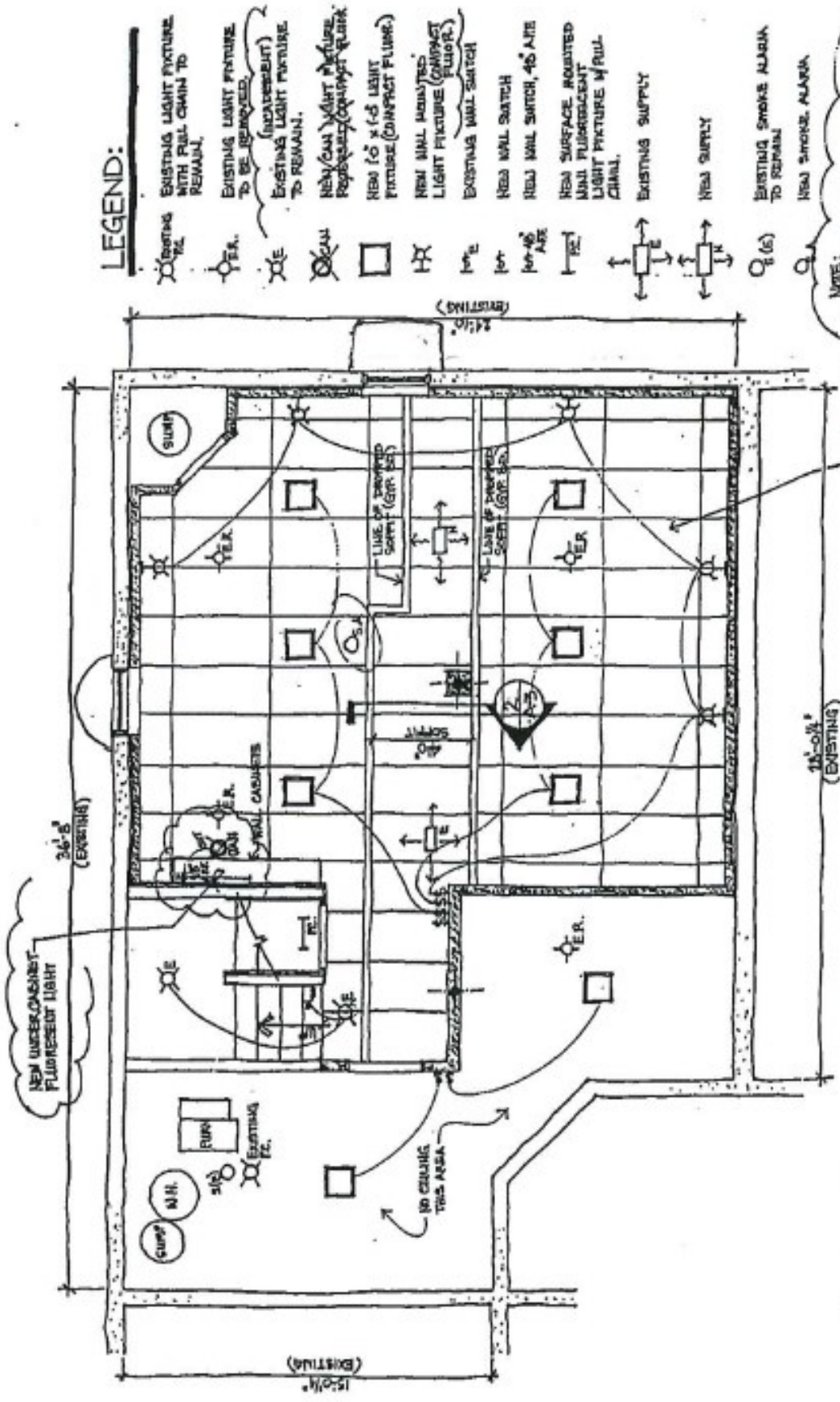
-  DUPLEX OUTLET
-  CABLE FOR TV
-  TELEPHONE
-  GFI DUPLEX OUTLET AT 4 1/2' A.F.F.
-  EXISTING FLOOR TRIM TO REMAIN
-  NEW WALL CONSTRUCTION
-  EXISTING FOUNDATION
-  EXISTING WALL CONSTRUCTION

BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

HUNTER PARK, IL 60103

SHEET A-1



LEGEND:

- EXISTING LIGHT FIXTURE WITH PULL CHAIN TO REMAIN.
- EXISTING LIGHT FIXTURE TO BE REMOVED.
- EXISTING LIGHT FIXTURE TO REMAIN.
- NEW/OLD LIGHT FIXTURE (COMPACT FLUOR.)
- NEW 10' x 16' LIGHT FIXTURE (COMPACT FLUOR.)
- NEW MINI MOUNTED LIGHT FIXTURE (COMPACT FLUOR.)
- EXISTING WALL SWITCH
- NEW WALL SWITCH
- NEW WALL SWITCH, 40 AMP
- NEW SURFACE MOUNTED MINI FLUORESCENT LIGHT FIXTURE (FLUOR. CI/MI).
- EXISTING SUPPLY
- NEW SUPPLY
- EXISTING SMOKE ALARM TO REMAIN
- NEW SMOKE ALARM

NOTE:

- 1) ALL 10'x16' LIGHT FIXTURES WILL BE SUPPORTED FROM THE EXISTING FLOOR JOISTS ABOVE.
- 2) ALL ELECTRICAL MARKINGS SHALL BE SUPPORTED FROM THE EXISTING FLOOR JOISTS ABOVE.

REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



HANOVER PARK, IL 60103

SHEET A-2