



*Hanover Park*<sup>USA</sup>

## **OVERHEAD SANITARY SEWER PROGRAM**

**(VILLAGE COST SHARING – 75% of ELIGIBLE COSTS, UP TO \$5,000)**

### IN ORDER TO QUALIFY FOR THE VILLAGE OF HANOVER PARK OVERHEAD SANITARY SEWER COST SHARING PROGRAM:

The perimeter drain tile and any other source of ground water or storm water must be disconnected from the Village sanitary sewer. Installation of a sump pit and sump pump is required. The sump pump is to discharge the ground water onto the ground, to the front or rear of the property.

(Note: This requirement is not applicable if a sump pump for perimeter drain tile already exists.)

# **OVERHEAD SANITARY SEWER PROGRAM**

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# **OVERHEAD SANITARY SEWER PROGRAM**

## **1. What is it?**

The Overhead Sewer Program was established to provide financial assistance to homeowners who desire to protect their home from sanitary sewer back-ups. Eligible homeowners may qualify for a 75% cost sharing, up to a maximum of \$5,000.00 for installing an overhead sewer system which can protect their basements from sewer back-up.

## **2. How does the Overhead Sewer work?**

Typically, homes which have experienced sanitary sewer back-ups and flooded basements during a heavy rain event have a gravity type sewer (see sketch "A" on page 4). The existing sewer underneath the basement floor drains to the sanitary sewer in the street by gravity. When the Village sanitary sewers become overloaded the gravity type sewer is subject to back-up.

Changing the basement plumbing to an Overhead Sewer (see sketch B on page 5) can help protect the basement from back-ups. The plumbing in the basement gets re-plumbed and directed to an ejector pit. The ejector pit lifts the sewage up and overhead, then down to about mid-height of the basement wall, where it exits the foundation wall to the outside of the building. Once outside, there is a "steep slope" section of pipe where it continues to the lateral line and then to the Village sanitary sewer. If the Village sanitary sewer backs-up, the homeowner is better protected, as the sewage will most likely only back-up into the "steep slope" area of the pipe, and not into the house.

## **3. Is there anything else I should know?**

Yes, to qualify for this program, the proposed Overhead Sewer remedy by your plumber must accomplish several things.

First, the perimeter drain tile and any other source of groundwater or storm water must be disconnected from the sanitary sewer. Installation of a sump pit and pump is required. The sump pump is to discharge the groundwater and storm water onto the ground, to the front or rear of the property.

(Note: This requirement is not applicable if a proper sump pit for perimeter drain tile already exists.)

# **OVERHEAD SANITARY SEWER PROGRAM**

Second, an overhead sewer needs to be installed per sketch B, page 5. The plumber needs to provide two sets of drawings which communicate all of the work being performed. A detailed and itemized invoice for all work being performed is required to be submitted to the Village for review, for Village Cost Sharing.

Install at least one “clean-out” outside of the house.

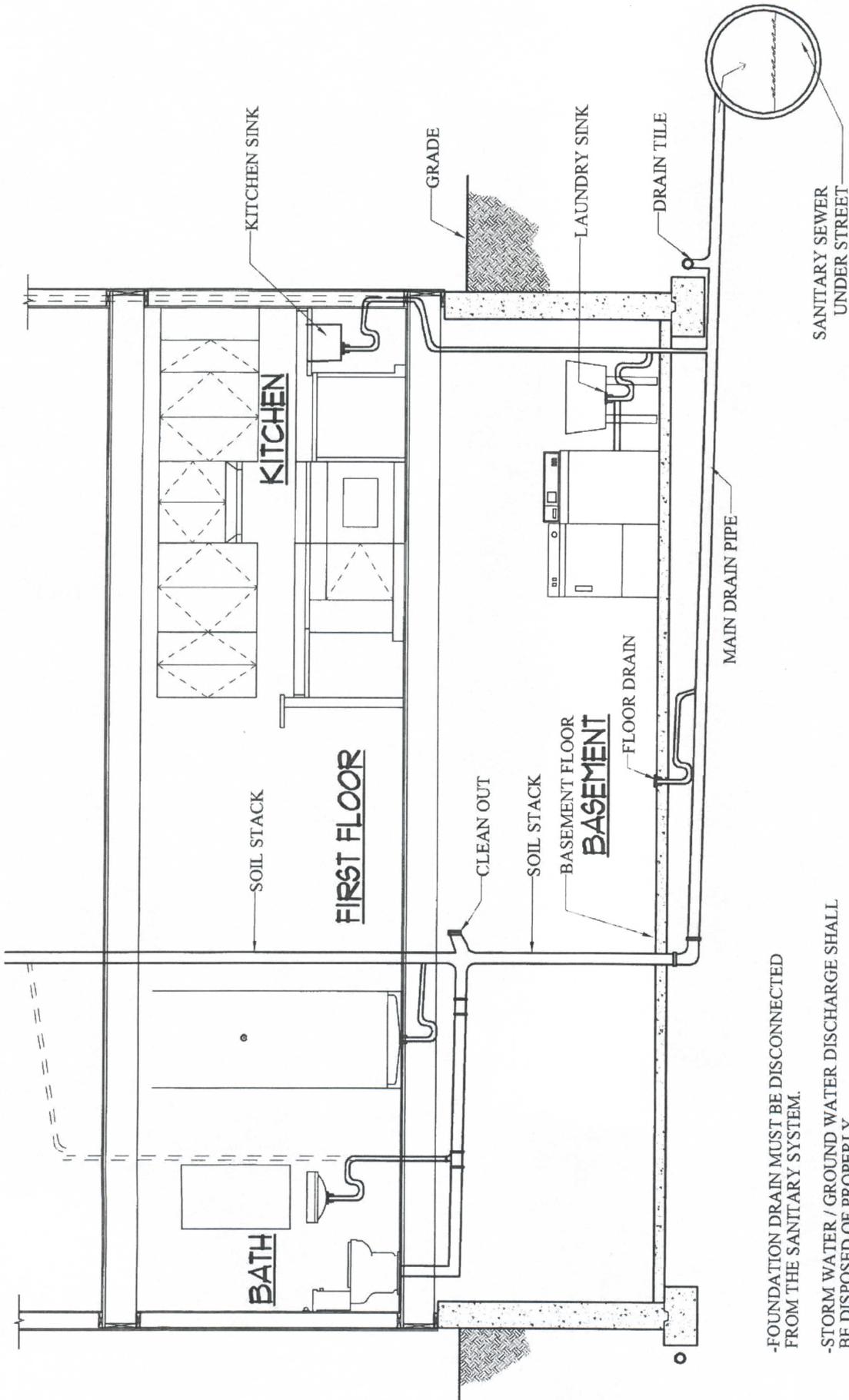
Furthermore, there are certain costs which are eligible for Village Cost Sharing and others that are not.

## **Eligible costs are as follows:**

- Cost of location, excavation, and exposure of the house lateral sewer line including the support of existing structures for re-connection of a new overhead sewer to the existing lateral.
- Cost of a new sanitary ejector pit, ejector pump, and associated electrical and plumbing work needed to lift sanitary discharge from basement plumbing fixtures to an overhead sewer.
- Cost of trenching and concrete floor repairs.
- Cost of grass seeding to restore disrupted grass/lawns.
- Applicable permit fees.
- Installation of storm water sump pump or associated piping pits or materials.

## **Non-Eligible Costs**

- Removal and Replacement of interior walls and finishes.
- Use of materials not meeting the requirements of the Village specifications or Village codes.
- Ancillary homeowner improvements not necessary to provide sanitary sewer back-up protection of the basement.
- Planting or replacement of new landscaping (bushes, trees, sod, fences, walls, etc.)
- New electrical panels and/or upgrading the house electrical supply.



-FOUNDATION DRAIN MUST BE DISCONNECTED FROM THE SANITARY SYSTEM.

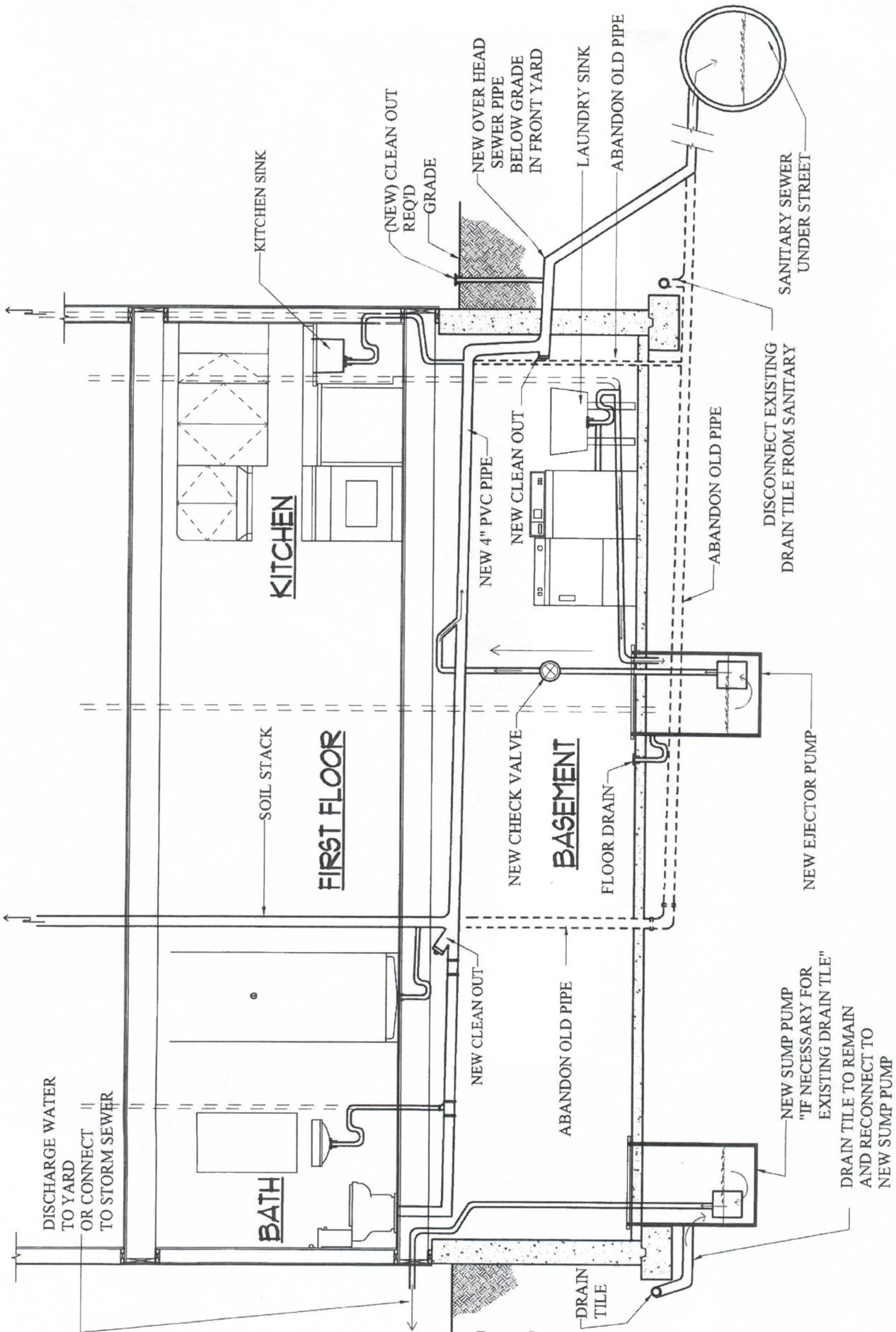
-STORM WATER / GROUND WATER DISCHARGE SHALL BE DISPOSED OF PROPERLY.

- IN SOME HOMES, THE BASEMENT WASH TUB, FLOOR DRAINS AND KITCHEN PLUMBING MAY DISCHARGE TO AN EXTERIOR CATCH BASIN LOCATED BEHIND OR ALONG SIDE THE BUILDING

- SOME HOME MAY ALSO HAVE A FOUNDATION DRAIN WITH A GRAVITY CONNECTION TO A SUMP PUMP IN THE BASEMENT

# BEFORE

SKETCH A : EXAMPLE OF A TYPICAL GRAVITY DRAINAGE SYSTEM

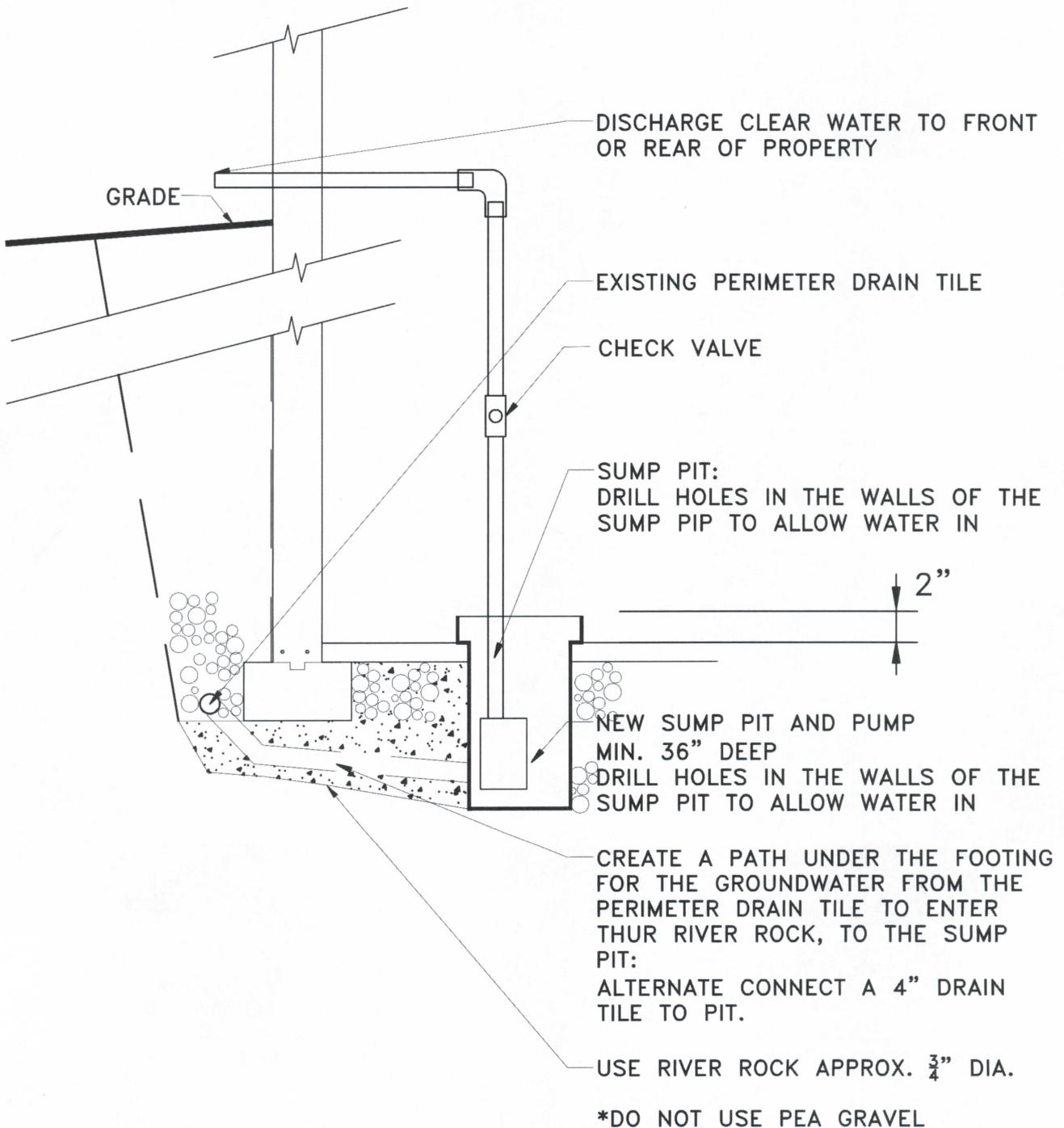


# AFTER

SKETCH B : EXAMPLE OF A CONVERSION TO AN OVERHEAD SEWER SYSTEM

# STORM WATER SUMP PIT DIAGRAM

THIS DIAGRAM DEPICTS HOW TO INSTALL A STORM WATER SUMP PIT IN AN EXISTING BASEMENT IN ORDER TO MEET THE REQUIREMENTS OF THE "OVERHEAD SEWER PROGRAM" AND/OR THE "CHECK VALVE PROGRAM".



# **OVERHEAD SANITARY SEWER PROGRAM**

## **GENERAL PLUMBING NOTES**

1. In order to qualify for the Overhead Sewer Program Cost Sharing: The perimeter drain tile, and any other source of storm water must be disconnected from the sanitary sewer. Installation of a sump pit is required to discharge the groundwater and storm water on the ground to the front or rear of the property.
2. Use SDR 26 for sewer pipe. If there is less than a 10ft separation to the water service, water main quality pipe must be used (D2241 or C900).
3. Where manufactured pipe joints cannot be utilized or where dissimilar materials are joined, “non-shear” type couplings shall be used for connections.
4. Connections of SDR 26 laterals to VCP / SDR 26 PVC sanitary sewer main shall be made with a stainless-steel band and gasketed saddle connection.
5. Disconnect abandoned basement floor drains/sewer outside of building foundation / slab and cap with the use of brick and hydraulic cement.
6. All floor drains must be vented.
7. PVC pipe for drain waste and vent is permitted for use above ground and is permitted underground and under the slab inside the building
8. The overhead sewer must penetrate the foundation wall before it starts its steep slope. To provide optimal protection the new overhead sewer SHALL NOT be connected to the existing gravity sewer inside the basement.
9. Provide a clean-out just outside of the building.
10. The Contractor shall restore all interior and exterior surfaces disturbed due to excavation in-kind.
11. The application shall include a detailed description of exterior extent of work.

# OVERHEAD SANITARY SEWER PROGRAM

## INSTRUCTIONS ON HOW TO APPLY

**STEP 1:** Contact the Public Works Department at 630-823-5700 to confirm eligibility. Be prepared to discuss the sanitary sewer issues you have had in the past and are wanting to address. You may pick up the Overhead Sewer Program with the application at Village Hall or print a copy from our website at [hpil.org](http://hpil.org). Type in “Overhead Sanitary Sewer Program” in the search engine and click on the link.

**STEP 2:** After being deemed eligible, contact and receive at least three quotes from plumbers. Have the plumbers prepare drawings and provide a written proposal which details the scope of work. The lowest priced plumber shall be used unless otherwise authorized by the Director of Public Works. Also, complete the following forms:

- **Permit Application** (page 9)
- **General Information Form** (page 10)
- **Homeowner Participation Agreement** (page 11)

Submit the drawings, proposal & forms to Public Works Department at 2041 W Lake Street. The Cost Sharing by the Village is 75% up to a maximum of \$5000, based on available and budgeted funds.

**STEP 3:** The drawings will be reviewed and will either be approved as noted or returned for revisions. When drawings receive approval, the permit will be issued by the Inspectional Services Department, and the plumber can start the work.

**STEP 4:** The plumber needs to contact the Inspectional Services Department (630-823-5860) to schedule normal inspections during the course of work and at completion for a final inspection.

**STEP 5:** After the work has been inspected and approved, the homeowner needs to pay the full amount to the plumber and then needs to submit the following to the Public Works Department to get reimbursed:

- Completed “Request for Disbursement Form”.
- A copy of a paid & itemized invoice from the plumber who did the work.
- A copy of the cancelled check (both sides) that the homeowner paid for the work.

**STEP 6:** “**WAIT**” – The Village’s reimbursement check will be mailed within approximately three business days after **all of the required paperwork** is submitted to the Public Works Department.

PERMIT NO. \_\_\_\_\_

## BUILDING PERMIT APPLICATION

For Accessory Structures, Remodeling and Room Additions Village of  
Hanover Park Fire Department Inspectional Services Division  
(630) 823-5860 iservices@hpil.org Fax (630) 823-5782

### CUSTOMER DATA

Name of Owner or Tenant: \_\_\_\_\_  
Property Address: \_\_\_\_\_  
Daytime Phone \_\_\_\_\_ E-Mail: \_\_\_\_\_

### CONTRACTOR DATA

Name of Contractor: \_\_\_\_\_  
Address of Contractor: \_\_\_\_\_ Contact Person: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone \_\_\_\_\_ E-Mail: \_\_\_\_\_

### PROPOSED PROJECT DATA

**CONSTRUCTION VALUE:** \$ \_\_\_\_\_  
(Materials and Labor/Install Costs)

**DESCRIPTION OF WORK:** J.U.L.I.E. Dig Number \_\_\_\_\_ (when applicable)

\_\_\_\_\_ **Mechanical:** ( ) Furnace ( ) A/C \_\_\_\_\_ **Deck** \_\_\_\_\_ **Roof**  
\_\_\_\_\_ **Water Heater** \_\_\_\_\_ **Garage** \_\_\_\_\_ **Windows**  
\_\_\_\_\_ **Driveway:** ( ) Asphalt ( ) Concrete ( ) Pavers \_\_\_\_\_ **Patio:** ( ) Concrete ( ) Pavers  
\_\_\_\_\_ **Fence:** ( ) Wood ( ) Chain ( ) PVC/VINYL | ( ) Replace ( ) New | Height of Fence: ( ) 3' ( ) 4' ( ) 5' ( ) 6'  
\_\_\_\_\_ **Shed:** Size: \_\_\_\_\_x\_\_\_\_\_ \_\_\_\_\_ **Swimming Pool:** ( ) Above Ground ( ) In Ground  
\_\_\_\_\_ **Remodeling or Addition:** Describe: \_\_\_\_\_  
\_\_\_\_\_ **Electrical Work:** Describe: \_\_\_\_\_  
\_\_\_\_\_ **Plumbing Work:** Describe: \_\_\_\_\_  
\_\_\_\_\_ **Other:** Describe: \_\_\_\_\_

### OFFICE USE ONLY

\_\_\_\_\_ OFFICE COPY  
\_\_\_\_\_ JOB COPY  
\_\_\_\_\_ ADDITIONAL COPY



# OVERHEAD SANITARY SEWER PROGRAM

## Homeowner Participation Agreement Village of Hanover Park

**I understand and agree** that the Village of Hanover Park established the Overhead Sewer program to assist residents in protecting their home from flooding due to sewer backups during a heavy rain event. The program provides for 75% reimbursement of eligible costs up to a maximum of \$5,000.00.

**Prior to the installation** of any plumbing work, the specific plans including the Proposal shall be submitted to the Village for review and approval. No work shall commence until Village approval is obtained and a permit is issued. The Village shall be notified to inspect the plumbing and electric work as required under any permit.

**Reimbursement** of eligible items at approved amounts will be made after work is completed, inspected, and approved by the Village. A completed "Request for Reimbursement" form must be completed and submitted with other documentation, such as the detailed invoice and a copy of the cancelled check (both sides) which evidences that the project was paid for, in full, by the homeowner.

**Liability** – The Village shall have no liability for any defective work or other damage, injury and/or loss on account of any act or omission of the Contractor in the performance of the work. The Homeowner shall make any claim for such matters directly against the Contractor or Contractor's insurance carrier. Homeowner hereby agrees to indemnify and hold Village harmless against any and all claims and further covenants not to sue the Village for any and all claims, as no system is absolutely failsafe. Further, homeowner shall indemnify the Village from any judgement, cost, or expense related to the work on the property.

**Disclaimer** – The Program is designed to substantially reduce the risk of basement backups. However, there is always risk of basement backup as a result of unexpected sewer collapse, obstruction, power failure, extreme environmental conditions or other foreseeable or unforeseen factors. Proper operation of foundation drains is necessary to prevent seepage of ground water through walls below grade. Testing existing foundation drains for proper operation is not part of the Program—the Homeowner has the responsibility for all testing, inspections and any corrective work that may become necessary. (The homeowner is reminded that footing drains, storm water tiles and all perimeter drains must be disconnected from the sanitary system. Storm water/ground water discharges shall be disposed of properly)

In addition, reliable continuous functioning of Homeowner's sump/ejector pump(s) is necessary for overhead sewers, and foundation drains to function properly. The Homeowner shall have the responsibility to check the operation of the pumps regularly. The Homeowner shall have the responsibility for all testing, inspections and any corrective work that may become necessary for regular and periodic maintenance. It is further recommended that the Homeowner install a battery backup system to provide protection in the event of power failure.

**Breach** – If the Homeowner fails to comply with all requirements of this Agreement or to complete installation as provided in this Agreement, the Village shall have no obligation to reimburse the Homeowner.

I understand and agree with all of the above statements and agree to comply accordingly.

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Homeowner – Printed Name

Signature

Date

---

Property Address

# **OVERHEAD SANITARY SEWER PROGRAM**

## **Request for Reimbursement Form Village of Hanover Park**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: (home) \_\_\_\_\_ (work) \_\_\_\_\_

Date plumbing work was completed: \_\_\_\_\_

Plumbing permit number issued: \_\_\_\_\_

Plumbing contractor who performed work: \_\_\_\_\_

Total cost of eligible expenses: \_\_\_\_\_

Total amount of reimbursement requested: \_\_\_\_\_  
(75% of eligible expenses not to exceed \$5,000)

### **Owner Certification**

I, \_\_\_\_\_ am the homeowner of the premises indicated above and I certify that all of the information contained on this Request for Reimbursement Form is true and accurate to the best of my knowledge.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

### **Village Certification**

As an authorized agent of the Village of Hanover Park who administers the Overhead Sewer Program, I certify that I have reviewed all the necessary paperwork associated with above mentioned "Overhead Sewer Program Application & Permit", and found them in compliance with the provisions of the Program. Therefore, I recommend the reimbursement amount be paid.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date